



15 Newfields, St. Helens, WA10 4JS

Asking Price £170,000



Tucked away in the charming area of Newfields, St. Helens, this delightful semi-detached house presents an excellent opportunity for first-time buyers. The property needs a little modernisation and presents a blank canvas for a buyer wanting to come in and make it their own. With two spacious double bedrooms and a well-appointed bathroom located on the first floor, this property is designed for comfortable living.

Upon entering, you are welcomed by a quaint porch that leads into a bright and airy living room, perfect for relaxation or entertaining guests. The heart of the home is undoubtedly the kitchen, which seamlessly opens into a dining area. This inviting space is enhanced by doors that lead directly to the well-maintained rear garden, allowing natural light to flood in and creating a warm atmosphere for family meals or gatherings.

The property also boasts a driveway at the front, providing parking for up to two vehicles, a valuable feature in this sought-after location. The garden offers a peaceful retreat, ideal for enjoying the outdoors or hosting summer barbecues.

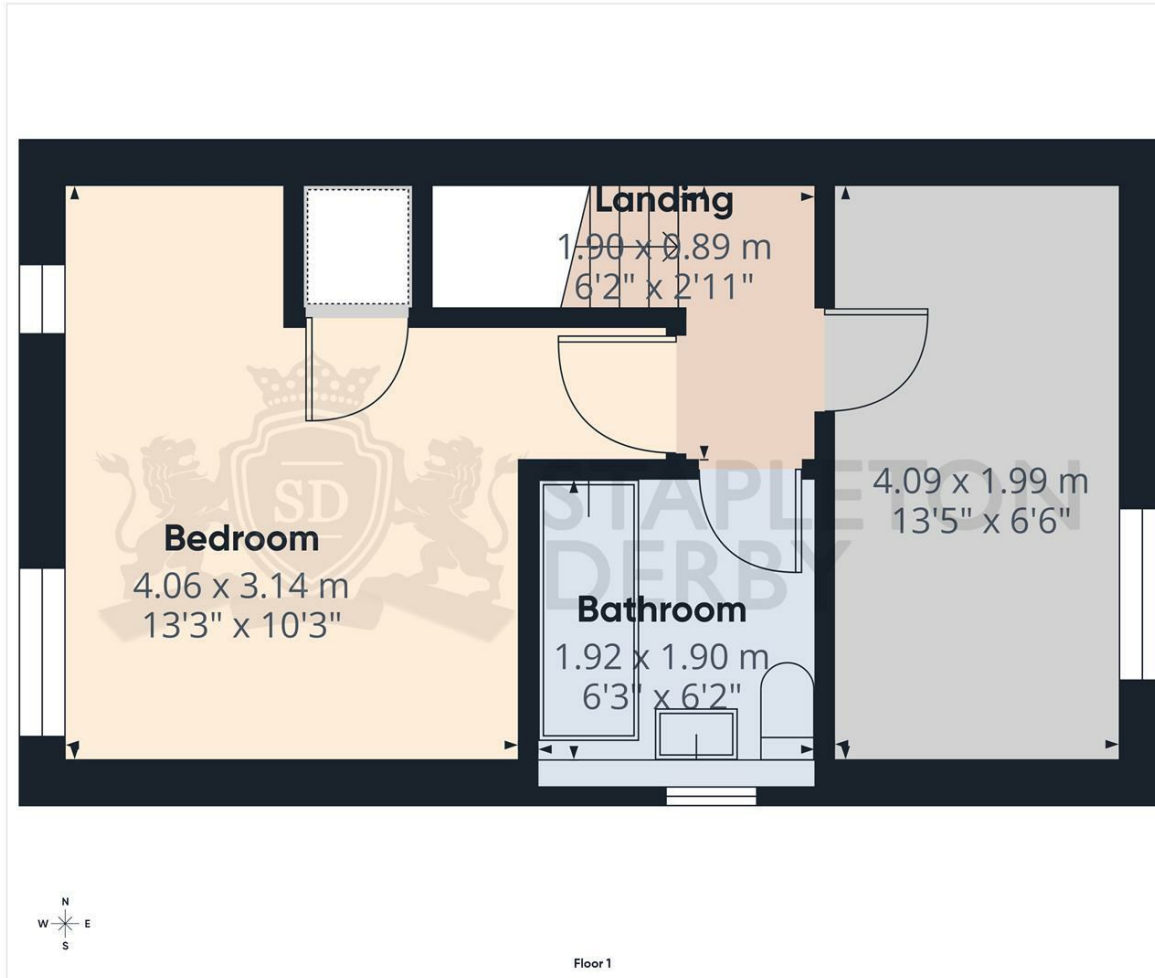
Situated close to local schools, this home is perfect for families or those looking to settle in a friendly community. With no onward chain, this property is ready for you to move in and make it your own. Don't miss the chance to view this lovely starter home in Newfields, where comfort and convenience await.







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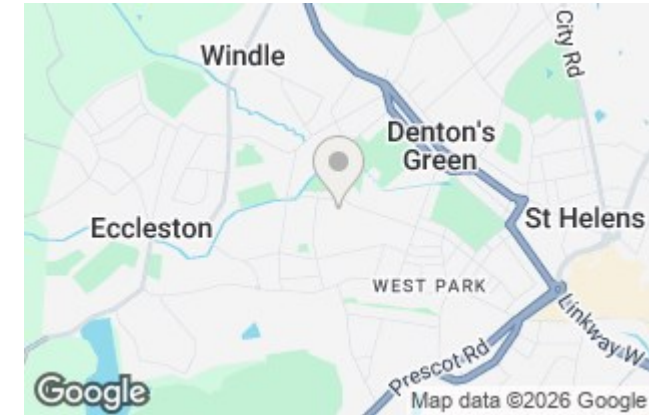


Approximate total area[®]
 25.9 m²
 278 ft²

(1) Excluding balconies and terraces

Calculations reference the RICS IPMS 3C standard. Measurements are approximate and not to scale. This floor plan is intended for illustration only.

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Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	91
			76

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	

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